

PARKING NOTES

- SECTION 7.1.B.5.a "GENERAL BUSINESS AND PROFESSIONAL OFFICES" REQUIRE 4 PARKING SPACES PER 1,000 SQUARE FEET OF GROSS FLOOR AREA OR 2 SPACES FOR EACH OFFICE OR TENANT, WHICHEVER IS GREATER.
- SECTION 7.1.B.7.b "WHOLESALE AND DISTRIBUTION BUSINESSES, WAREHOUSING AND STORAGE BUSINESSES, TRUCK TERMINALS AND OTHER ENCLOSED NON-INDUSTRIAL STORAGE USES" REQUIRE 1 PARKING SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA OR 1 SPACE FOR EACH 3 EMPLOYEES ON THE MAXIMUM WORK SHIFT, WHICHEVER IS GREATER.
- BUILDING BREAKDOWN:

FIRST FLOOR PROFESSIONAL OFFICE:	1,050± SF
SECOND FLOOR PROFESSIONAL OFFICE:	4,188± SF
THIRD FLOOR PROFESSIONAL OFFICE:	915± SF
TOTAL PROFESSIONAL OFFICE:	6,153± SF
FIRST FLOOR ACCESSORY USE:	3,464± SF
- PARKING REQUIREMENTS:

4 SPACES PER 1,000 SF OF OFFICE = 4 X 6,153 = 24,62 = 25 SPACES REQUIRED
1 SPACE PER 1,000 SF ACCESSORY = 1 X 3,464 = 4 SPACES REQUIRED
TOTAL SPACES REQUIRED = 29
- SECTION 7.1.C.1.c PARKING REDUCTION FOR SINGLE PROPERTY – SPECIAL PERMIT – ON STREET PARKING EXISTING OR TO BE ESTABLISHED – AT LEAST 10 ADDITIONAL 1-HOUR ON-STREET PARKING SPACES ARE WITHIN 500' OF THE SUBJECT PROPERTY.

ON-SITE PARKING:	21 SPACES
OFF-SITE, ON-STREET PARKING:	8 SPACES (WITHIN 150' OF PROPERTY – SEE SHEET 6/6)
TOTAL:	29 SPACES
- SECTION 7.1.E.1.a OFF-STREET PARKING SPACES SHALL BE 9' x 20' EXCEPT THAT THE COMMISSION MAY BY SPECIAL PERMIT, ALLOW AT LEAST 60% OF THE SPACES TO BE 9' x 18'. THIS PLAN PROPOSES 13 OF THE 21 OFF-STREET SPACES (62%) TO BE 9' x 18'.
- PROVISION OF 29 PARKING SPACES FOR THE PROPOSED USE(S) REQUIRES DESIGNATION OF TWO (2) ADA COMPLIANT PARKING SPACES, ONE (1) OF WHICH MUST BE A VAN SPACE. THIS PROPOSAL PROVIDES ONE (1) ADA CAR SPACE, AND ONE (1) ADA VAN SPACE.
- THE NINETEEN (19) STANDARD ON-SITE PARKING SPACES SHALL BE RESERVED FOR USE BY BUILDING STAFF. VISITORS SHALL BE INSTRUCTED TO PARK IN THE ON-STREET SPACES, EXCEPT FOR THOSE VISITORS PERMITTED TO PARK IN THE ON-SITE ADA PARKING SPACES.

NARRATIVE

THIS PROPOSAL INVOLVES IMPROVEMENTS TO AN EXISTING MASONRY BUILDING LOCATED AT 18 THAMES STREET IN THE CITY OF GROTON, CONNECTICUT, WHICH BUILDING WAS FORMERLY A CONNECTICUT STATE POLICE BARRACKS. THE 0.45± ACRE PROPERTY CURRENTLY CONTAINS THE SUBJECT BUILDING, CONCRETE RETAINING WALLS, WALKS AND CURBING IN VARIOUS STATES OF DISREPAIR, AND A BITUMINOUS CONCRETE PARKING LOT. A PORTION OF THE PARKING LOT HAS BEEN DEMOLISHED TO CONDUCT UTILITY WORK. THE FRONT OF THE PROPERTY HAS A MORTARED STONE RETAINING WALL THAT SEPARATES THE PARKING FROM THE MUNICIPAL SIDEWALK. THE CURRENT ZONING DESIGNATION OF THE SUBJECT PROPERTY IS GENERAL COMMERCIAL "GC".

THE OWNER/APPLICANT INTENDS TO MAKE IMPROVEMENTS TO THE SITE, INCLUDING:

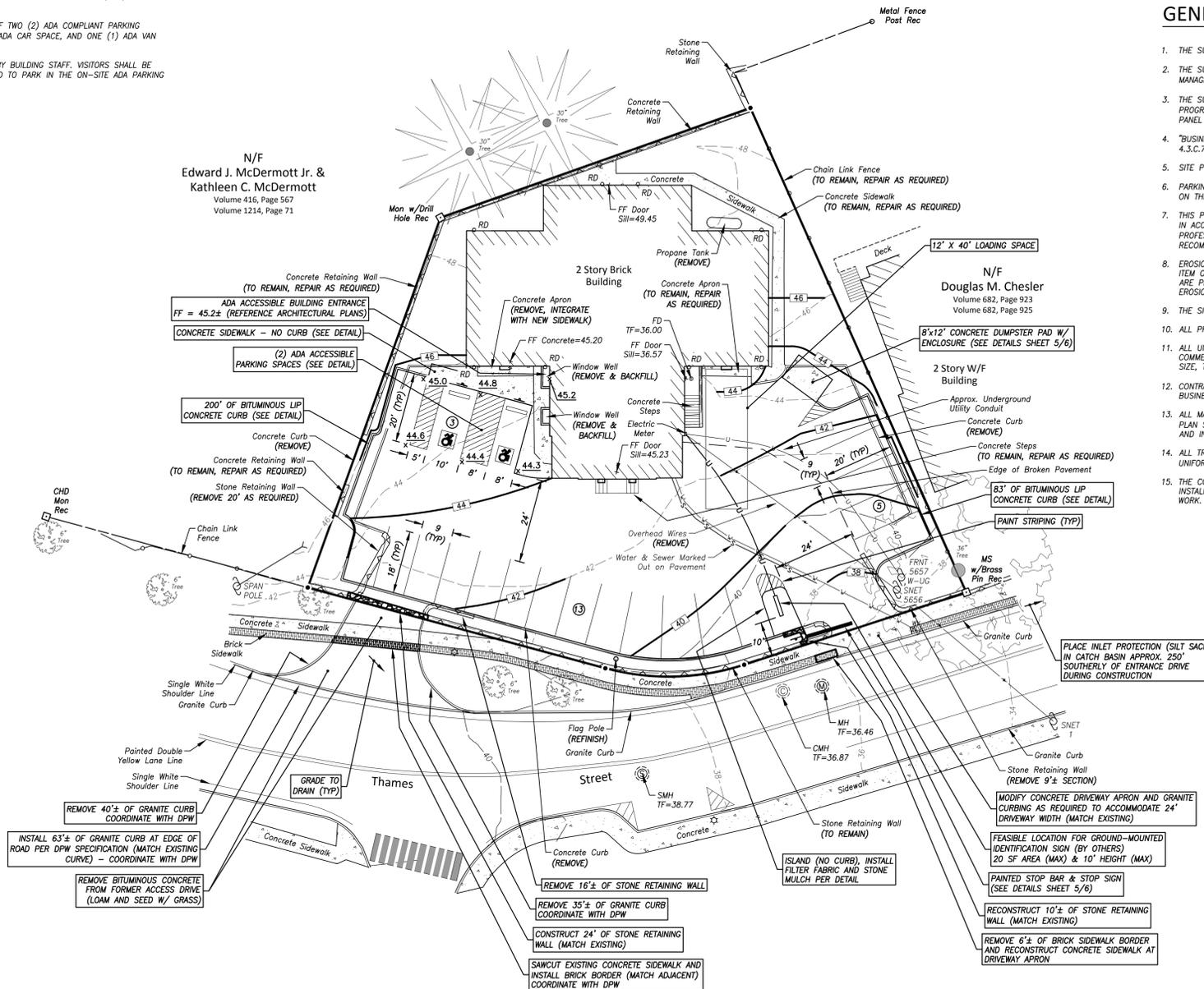
- ARCHITECTURAL IMPROVEMENTS TO THE BUILDING TO SUPPORT ITS ADAPTIVE RE-USE FOR PROFESSIONAL OFFICE SPACE;
- DEMOLITION/REMOVAL OF THE EXISTING CONCRETE CURBS AND BITUMINOUS CONCRETE PARKING LOT;
- DEMOLITION OF THE NORTHERLY ACCESS DRIVE AND MODIFICATIONS TO THE REMAINING ACCESS DRIVE TO INCREASE ITS WIDTH
- DEMOLITION OF PORTIONS OF THE STONE AND MORTAR RETAINING WALL ALONG THE FRONT PROPERTY LINE AND RECONSTRUCTION OF:
- MINOR RE-GRADING OF THE PARKING AREA AND CONSTRUCTION OF A NEW SIDEWALK, DUMPSTER ENCLOSURE AND BITUMINOUS CONCRETE PARKING LOT;
- PAINT STRIPING OF PARKING SPACES INCLUDING 1 ADA VAN ACCESSIBLE PARKING SPACE AND 1 ADA CAR PARKING SPACE, LOADING AREA, AND SITE ENTRANCE/EXIT;
- INSTALLATION OF NEW TRAFFIC CONTROL SIGNAGE;
- INSTALLATION OF NEW SITE LANDSCAPING AND SITE LIGHTING.

ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR THE STATE OF CONNECTICUT, THE SOILS LOCATED UPON THE SUBJECT PROPERTY CONSIST OF:

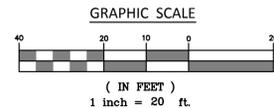
- 306 UDORMENTS URBAN LAND COMPLEX
- 73E CHARLTON-GHAFFIELD COMPLEX, 15-45% SLOPES, VERY ROPY

GENERAL NOTES

- THE SUBJECT PROPERTY IS LOCATED AT 18 THAMES STREET IN THE CITY OF GROTON, CONNECTICUT.
- THE SUBJECT PROPERTY IS LOCATED IN THE GENERAL COMMERCIAL "GC" ZONING DISTRICT, AND THE COASTAL AREA MANAGEMENT (CAM) OVERLAY ZONE.
- THE SUBJECT PROPERTY IS LOCATED IN "OTHER AREAS" AS IDENTIFIED ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) NEW LONDON COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 502 OF 554, MAP NUMBER 0901100502, MAP REVISED AUGUST 5, 2013.
- "BUSINESS AND PROFESSIONAL OFFICES" ARE PERMITTED BY SITE PLAN APPROVAL (COMMISSION) PER SECTION 4.3.C.7 OF THE CITY OF GROTON ZONING REGULATIONS.
- SITE PLAN REQUIREMENTS ARE ESTABLISHED BY SECTION 9.3 OF THE CITY OF GROTON ZONING REGULATIONS.
- PARKING REQUIREMENTS AND CALCULATIONS ARE DEPICTED UNDER THE HEADING OF "PARKING NOTES" ELSEWHERE ON THIS SHEET.
- THIS PLAN DOES NOT MEET THE REQUIREMENTS OF SECTION 7.7. THE APPLICANT WILL REQUEST A SPECIAL PERMIT IN ACCORDANCE WITH SECTION 7.7.D.2 MODIFICATIONS "THE COMMISSION HAS RECEIVED A REPORT FROM A PROFESSIONAL ENGINEER HIRED BY THE COMMISSION, AT THE APPLICANT'S EXPENSE, PROVIDING A POSITIVE RECOMMENDATION REGARDING THE MODIFICATION.
- EROSION CONTROL MEASURES DEPICTED HEREON REPRESENT THE MINIMUM ACCEPTED AND ARE TO BE THE FIRST ITEM OF CONSTRUCTION. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. ALL MEASURES ARE TO CONFORM TO THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- THE SITE IS SERVED BY PUBLIC SANITARY SEWER AND PUBLIC WATER.
- ALL PROPOSED UTILITY SERVICES TO THIS PROJECT SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- ALL UNDERGROUND AND OVERHEAD UTILITIES SHOWN HEREON ARE APPROXIMATE AND MUST BE VERIFIED PRIOR TO COMMENCEMENT OF ANY WORK. THE ENGINEER MAKES NO STATEMENT, WARRANTY OR GUARANTEE TO THE LOCATION, SIZE, TYPE, QUANTITY OR CONDITION OF ANY UTILITIES SHOWN HEREON.
- CONTRACTOR MUST CONTACT "CALL BEFORE YOU DIG" ORGANIZATION AT 1-800-922-4455 AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON OR ADJACENT TO THE PROJECT SITE.
- ALL MATERIALS, INSTALLATIONS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF GROTON SITE PLAN STANDARDS, WPCA SPECIFICATIONS AND/OR CTDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES FACILITIES AND INCIDENTAL CONSTRUCTION FORM 817; LATEST EDITION.
- ALL TRAFFIC SIGNAGE, MARKINGS, LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- THE CONTRACTOR MUST COORDINATE ALL UTILITY SHUT-OFFS, ABANDONMENTS, NEW CONNECTIONS AND INSTALLATIONS WITH THE APPROPRIATE UTILITY COMPANIES BEFORE AND DURING ALL PHASES OF THE PROJECT WORK.



SEE SHEET 2 FOR LEGEND & ABBREVIATIONS



PROGRESS 6/7/19 FOR REVIEW AND PERMITTING ONLY

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

Improvement Location & Topographic Survey
"Site Demolition & Improvements Plan"
 Prepared for
Thames Leasing, LLC
 18 Thames Street - Groton, Connecticut



SCALE: 1" = 20'
 DATE: May 2019
 JOB I.D. NO. 19-2707

Revisions
 Rev. "A" - City of Groton Staff Comments - 6/8/19

SHEET NO.

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P:\CIVIL 3D PROJECTS\2019\19-2707 THAMES LEASING LLC\DWG\DESIGN\19-2707 THAMES LEASING SITE PLAN SUBMISSION DRAWING REV.A.DWG



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 JEFFREY P. DEWEY, P.E. LICENSE NO. DATE JOHN U. FAULISE JR. L.S. LICENSE NO. DATE 70016

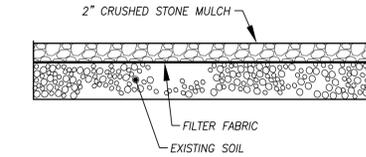
LANDSCAPING SCHEDULE

DECIDUOUS TREES					
SYM	KEY	QTY.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
FD	2		Cornus florida Flowering Dogwood	6-8' ht.	B.B.

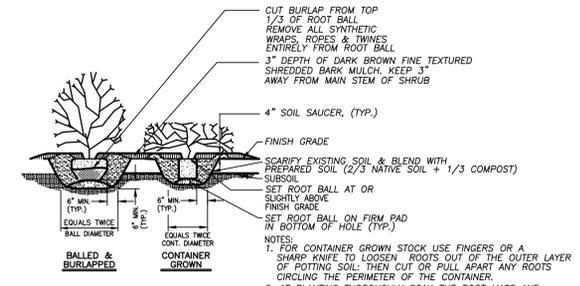
EVERGREEN SHRUBS					
SYM	KEY	QTY.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
AA	18		Thuja occidentalis American Arborvitae	6' ht.	B.B.
CB	26		Buxus sempervirens Common Boxwood	2 gal.	C.G.

LANDSCAPE PLANTING MATERIALS AS PROPOSED BY THIS PLAN ARE CONNECTICUT NATIVE AND/OR NON-INVASIVE SPECIES. THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO INCORPORATE SPECIES WHICH ARE PROLIFIC IN USDA PLANT HARDINESS ZONE 6B AND WHICH REQUIRE MINIMAL ENERGY INPUT FOR UPKEEP AND MAINTENANCE. REFERENCES UTILIZED FOR CONNECTICUT NATIVE AND NON-INVASIVE SPECIES SELECTION INCLUDE THE CONNECTICUT BOTANICAL SOCIETY, THE CONNECTICUT AGRICULTURAL EXPERIMENT STATION, THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION AND OTHER SOURCES.

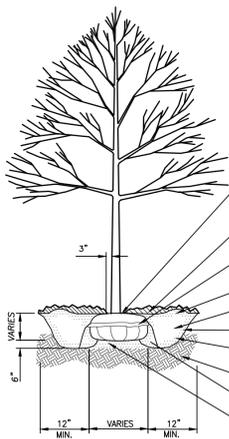
LANDSCAPE PLANTING MATERIALS AS PROPOSED BY THIS PLAN ARE INTENDED TO BE A MINIMUM. THE APPLICANT RESERVES THE RIGHT TO ADD ADDITIONAL LANDSCAPE MATERIALS AT THEIR DISCRETION.



STONE MULCH GROUND COVER DETAIL
NOT TO SCALE



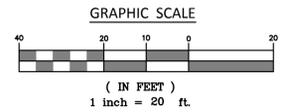
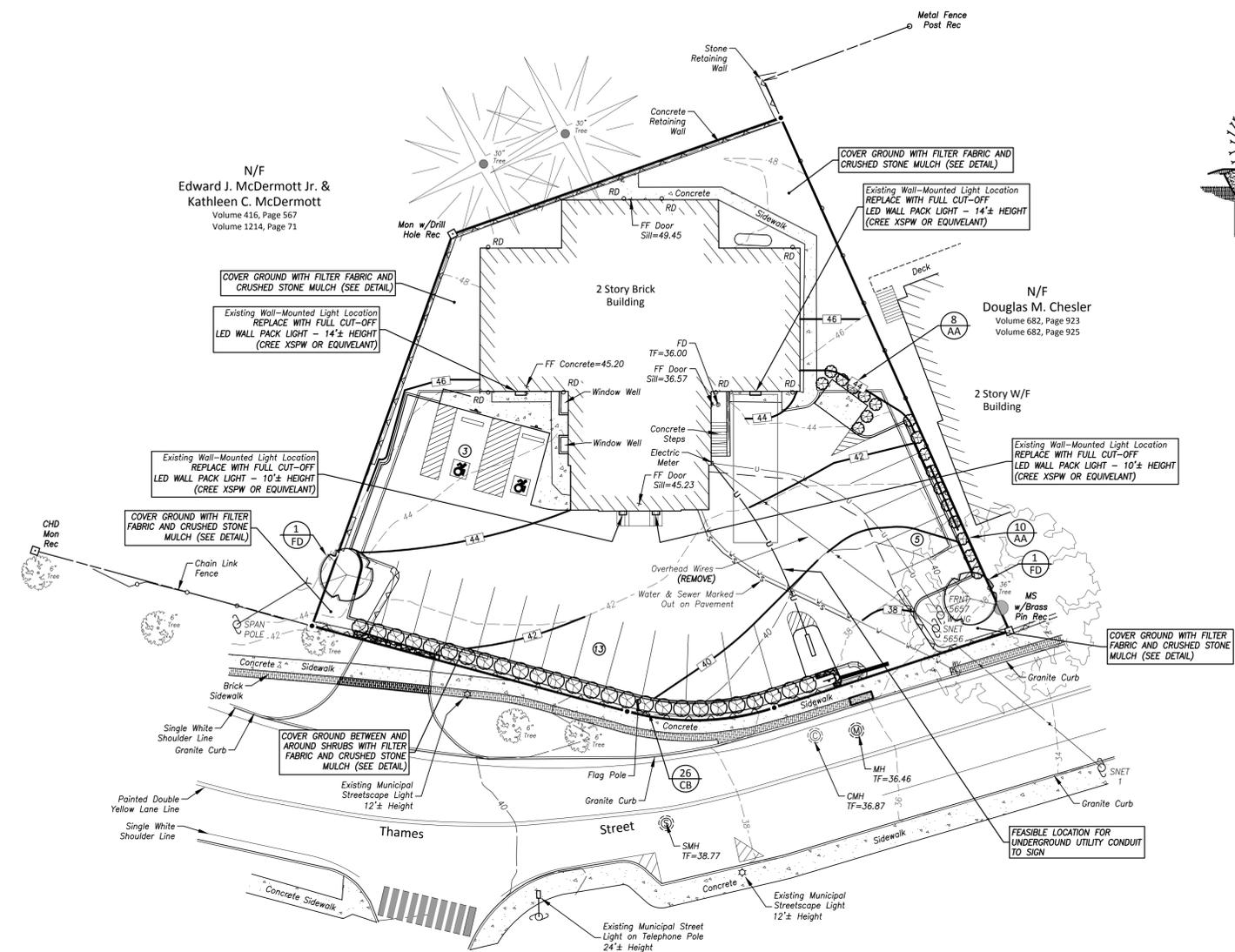
SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:**
- * DO NOT STAKE OR WRAP TRUNK.
 - * FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL. THEN CUT OR PULL APART ANY ROOTS CIRCULING THE PERIMETER OF THE CONTAINER.
 - * FOR RED CEDARS, INCORPORATE COMMERCIALY PREPARED MYCORRHIZA SPORES IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATES SPECIFIED BY THE MANUFACTURER.
 - * AT PLANTING THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT SOIL. REPEAT SEVERAL TIMES DURING THE FIRST MONTH AND THROUGHOUT THE FOLLOWING TWO SUMMERS.

- TREE SHALL BE SET AT OR 1" ABOVE ESTABLISHED FINISHED GRADE
- 3" DEPTH OF DARK BROWN FINE TEXTURED SHREDDED BARK MULCH (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK)
- UNTIE AND ROLL BACK BURLAP FROM 1/3 OF ROOT BALL (MIN.); IF SYNTHETIC WRAP IS USED, REMOVE COMPLETELY
- SLOPE TO FORM SAUCER
- ADD 3"-4" OF COMPOSTED LEAVES OR HARD WASTE AND TILL INTO TOP 6" OF SOIL
- DIG WIDE SHALLOW HOLE WITH SHARP SIDES
- SCARIFY EXISTING SOIL & BLEND WITH PREPARED SOIL FOR TREES
- EXISTING SUBGRADE
- TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL
- SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE



SEE SHEET 2 FOR LEGEND & ABBREVIATIONS

SEE SHEET 6/6 FOR SITE LIGHTING PHOTOMETRIC DEMONSTRATION

PROGRESS 6/7/19 FOR REVIEW AND PERMITTING ONLY

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

Improvement Location & Topographic Survey
"Landscaping, Lighting & Utilities Plan"
 Prepared for
Thames Leasing, LLC
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DATE:	May 2019
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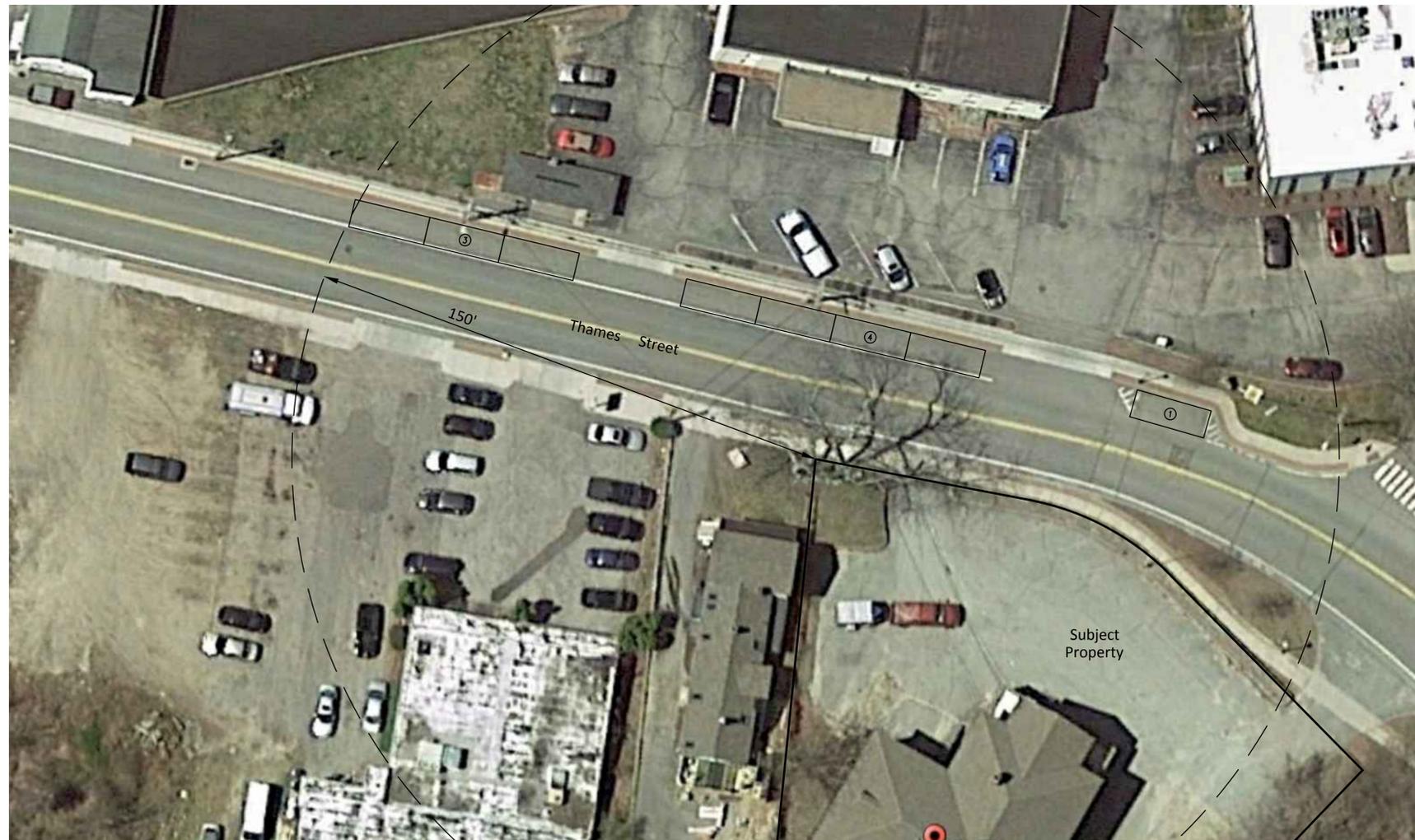
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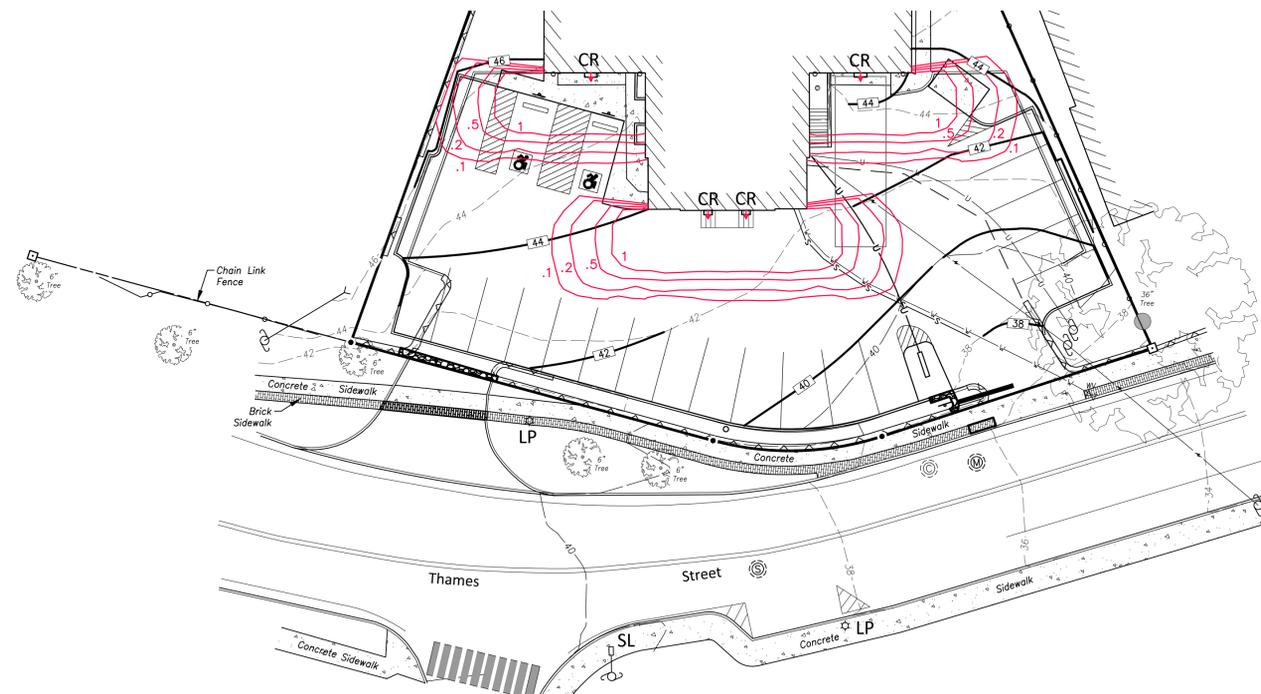


NOTE

THERE ARE 8 DESIGNATED ON-STREET PARKING SPACES ON THE NORTHERLY SIDE OF THAMES STREET THAT ARE WITHIN 150' OF THE SUBJECT PROPERTY.

ON-STREET PARKING DEMONSTRATION

SCALE: 1" = 40'



- CR - Cree XSPW Wallpack Type II
10-14'± Mounting Height
Luminaire Lumens = 3819
- LP - Existing Municipal Light Pole
Height 12'±
Lumens Unknown
- SL - Existing Municipal Street Light
Height 24'±
Lumens Unknown

SITE LIGHTING PHOTOMETRICS

SCALE: 1" = 40'

**PROGRESS 6/7/19
 FOR REVIEW AND
 PERMITTING ONLY**

**"On-Street Parking Demonstration &
 Site Lighting Photometrics"**
 Prepared for
Thames Leasing, LLC
 18 Thames Street - Groton, Connecticut

SCALE:	As Noted
DATE:	May 2019
JOB I.D. NO.:	19-2707

Revisions
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